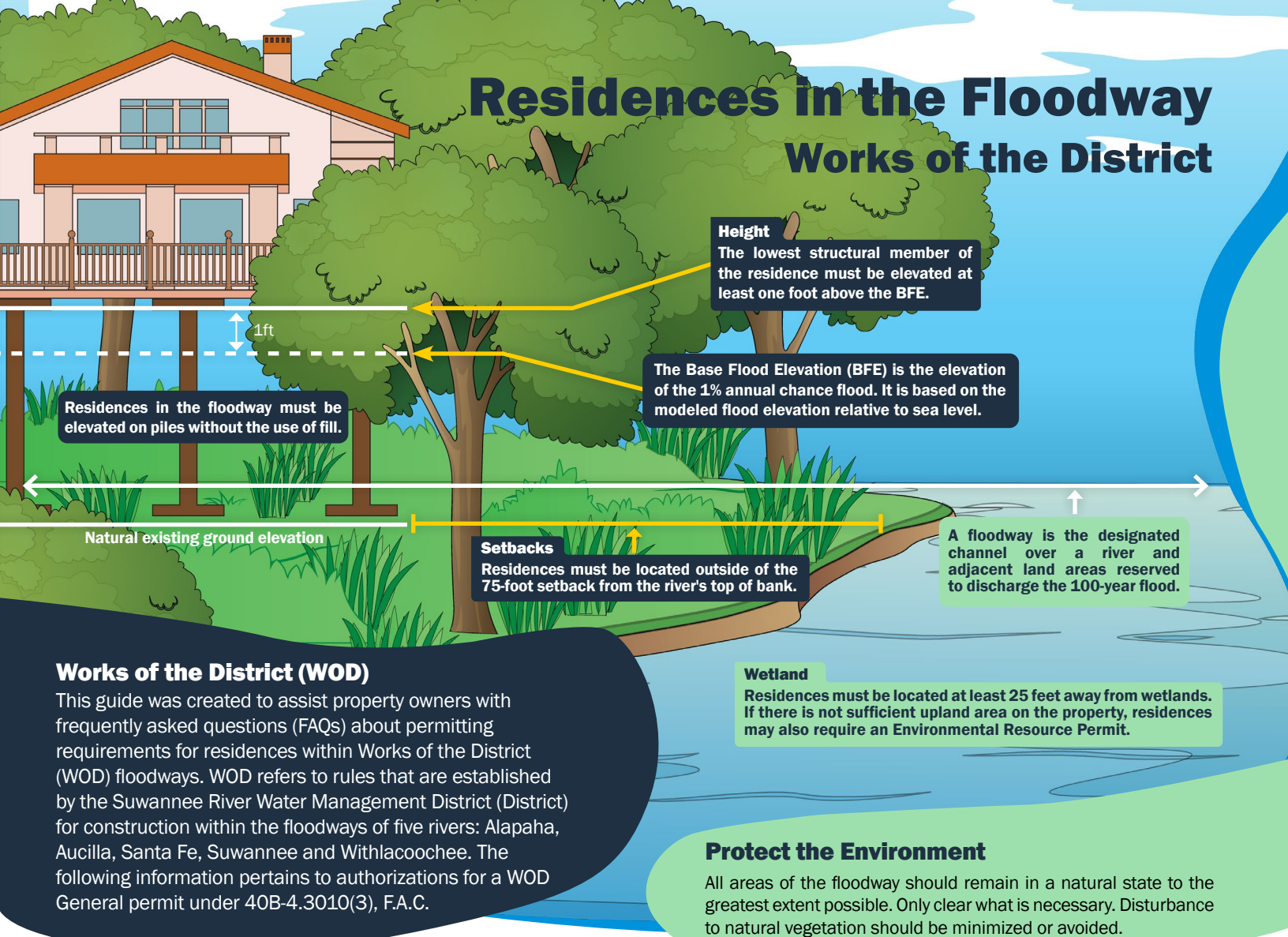


# Residences in the Floodway Works of the District



**Height**  
The lowest structural member of the residence must be elevated at least one foot above the BFE.

The Base Flood Elevation (BFE) is the elevation of the 1% annual chance flood. It is based on the modeled flood elevation relative to sea level.

Residences in the floodway must be elevated on piles without the use of fill.

Natural existing ground elevation

**Setbacks**  
Residences must be located outside of the 75-foot setback from the river's top of bank.

A floodway is the designated channel over a river and adjacent land areas reserved to discharge the 100-year flood.

**Wetland**  
Residences must be located at least 25 feet away from wetlands. If there is not sufficient upland area on the property, residences may also require an Environmental Resource Permit.

## Works of the District (WOD)

This guide was created to assist property owners with frequently asked questions (FAQs) about permitting requirements for residences within Works of the District (WOD) floodways. WOD refers to rules that are established by the Suwannee River Water Management District (District) for construction within the floodways of five rivers: Alapaha, Aucilla, Santa Fe, Suwannee and Withlacoochee. The following information pertains to authorizations for a WOD General permit under 40B-4.3010(3), F.A.C.

## Protect the Environment

All areas of the floodway should remain in a natural state to the greatest extent possible. Only clear what is necessary. Disturbance to natural vegetation should be minimized or avoided.

### What Do I Need For My Permit Application?

**Application Fee:**

\$490.00

**Ownership:**

Provide proof of the applicant's ownership of the property.

**Application Form:**

Form 40B-4.3020, Application for a Work of the District Permit, signed by the property owner.

**Registered Professional Engineer:**

Certified site plan, certified profile plan, and a zero-rise certification.

**Land Surveyor:**

Collects topographic elevations, and the location, dimensions, and elevations of existing structures, also locates the 75-foot setback line from the top of bank, floodway line, and more.

### Different permitting or fee requirements may apply if:

- Any portion of your proposed project is located within or near wetlands;
- You would like to include additional structures or activities with your permit;
- There is an existing District permit at your property;
- Your residence will be located outside of the floodway boundary.

### Where can I find an engineer who has previously submitted a zero-rise certification to the District?

A list is available on our website here: [www.mysuwanneeriver.com/553/Engineers-Surveyors-Environmental-Consul](http://www.mysuwanneeriver.com/553/Engineers-Surveyors-Environmental-Consul)

### What is the Base Flood Elevation (BFE) for my property?

You can find your BFE using the Suwannee River Flood Report Tool located at [www.srwmfloodreport.com](http://www.srwmfloodreport.com).

Schedule a free pre-application meeting with District staff to discuss proposed activities and determine if an environmental consultant should be hired for the project along with the required engineer consultant.

**Please note:** This document is intended as a guide. Please refer to 40B-4, F.A.C. and 62-330, F.A.C. for complete information. A District permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any construction, alteration, operation, maintenance, removal, or abandonment authorized by a District permit. Please contact your federal, state, and local agencies for further guidance.

Please visit our website at [www.mysuwanneeriver.com](http://www.mysuwanneeriver.com) to learn more or email us at [resourcemanagement@srwmd.org](mailto:resourcemanagement@srwmd.org) for all your permitting questions.



SUWANNEE RIVER  
WATER MANAGEMENT DISTRICT